



Moorhead Drive, Bagnall, ST9 9LQ.  
Offers in Excess of £385,000

Whittaker Est. 1930  
& Biggs

## Moorhead Drive, Bagnall, ST9 9LQ.

This three bedroom detached family home is nestled on a substantial corner plot in the highly sort after location of Bagnall. The property has ample off street parking to the frontage via the driveway, double garage, impressive 28ft living/dining room, well equipped kitchen, cloakroom, ensuite to bedroom one and a family bathroom. Gardens are location to the front, side, rear and the plot offers potential for further development, subject to the relevant planning and building regulation approval.

You're welcomed into the property via the entrance porch, through to the hallway with cloakroom and store off. The living room has bay windows to the side, providing excellent views over the neighbouring fields. The dining kitchen has a good range of fitted units to the base and eye level, floor mounted gas fired boiler, space for a dining table and chairs, electric cooker point, space for a dishwasher and access to the side of the property.

To the first floor the landing provides access to three well proportioned bedrooms, with bedroom one and two having a range of fitted bedroom furniture and bedroom one having an ensuite shower room. The bathroom incorporates a panel bath, vanity wash hand basin, low level WC, bidet and airing cupboard housing the immersion heated tank. The garage has up and over door, sink unit, power/light, pedestrian door to the rear and space/plumbing for a washing machine and dryer.

Externally to the frontage is a tarmacadam driveway, gated access to one side, area laid to lawn with well stocked borders and stone wall to the other. To the rear, raised patio, well stocked and access to the garage.

Offered for sale with NO CHAIN, a viewing is highly recommended to appreciate the plot size, location, spacious layout and further potential.

### Situation

Stanley Moor is a tranquil semi rural village set within the heart of the Staffordshire Moorlands and close to the Peak National Park, with great commuting links to the historic market town of Leek, over the border into the Cheshire towns of Congleton and Macclesfield, The Potteries and the Motorway Network. Stoke Railway Station can be reached within approximately 15 minutes by car and only approximately 1 hour 30 minutes to commute to London Euston via rail and approximately less than 1 hour to either Birmingham or Manchester.

The village provides ease of access to the neighbouring villages of Bagnall, Stanley along with Stockton Brook with its golf club with driving range. Restaurants/public houses include Ego, Lockside, The Sportsman, The Travellers Rest, The Rose and Crown and The Stafford Arms.



### Entrance Porch

UPVC double glazed door and window to the front elevation.

### Hallway

Radiator, understairs storage cupboard.

### Cloakroom

WC, pedestal wash hand basin, UPVC double glazed window to the side elevation, radiator, fully tiled.

### Dining Kitchen 11' 10" x 10' 11" (3.61m x 3.34m)

Range of fitted units to the base and eye level, stainless steel sink unit with drainer and chrome mixer tap, plumbing for dishwasher, UPVC double glazed window to the rear elevation, space for freestanding fridge/freezer, radiator, Baxi gas fired floor mounted boiler, wood glazed door to the side elevation, electric oven, extractor fan above.

### Living/Dining Room 28' 2" x 11' 6" (8.58m x 3.51m

reducing to 3.21m)

UPVC double glazed window to the front elevation, two UPVC double glazed bay windows to the side elevation, UPVC double glazed patio doors to the rear elevation, two radiators, serving hatch, feature fireplace with marble hearth, surround and wood mantle.

### First Floor

#### Landing

UPVC double glazed window to the side elevation, loft access.

### Bedroom One 13' 9" x 10' 7" (4.20m x 3.22m)

UPVC double glazed window to the front elevation, radiator, range of fitted wardrobes, bedside tables, overhead storage.

### Ensuite

Walk in shower with integral fitment, lower level WC, pedestal wash hand basin, radiator, UPVC double glazed window to the front elevation, fully tiled.

### Bedroom Two 10' 7" x 14' 1" (3.22m x 4.28m)

UPVC double glazed window to the front elevation, radiator, fitted wardrobes, overhead space, bedside tables.

### Bedroom Three 11' 11" x 11' 11" (3.63m x 3.63m)

UPVC double glazed window to the side elevation, radiator.

### Bathroom 8' 4" x 8' 9" (2.55m x 2.67m)

UPVC double glazed window to the front elevation, panelled bath, lower level WC, bidet, vanity wash hand basin with storage beneath, tiled, electric shaver point, heated towel rail, immersion heated tank.

### Double Garage 16' 8" x 17' 5" (5.09m x 5.32m)

Up and over door, power and light connected, sink unit, plumbing for washing machine, space for dryer, wood glazed window to the rear elevation, wood glazed door to the rear elevation.

### Externally

To the front is tarmac driveway with access to the double garage. To one side is area laid to lawn, well stocked borders, walled boundaries. Rear Garden - Patio, lawn area, hedged and fenced boundaries, well stocked borders, outside water tap, concrete base gated access to the front elevation.



Note:  
Council Tax Band: F

EPC Rating: TBC

Tenure: believed to be Freehold



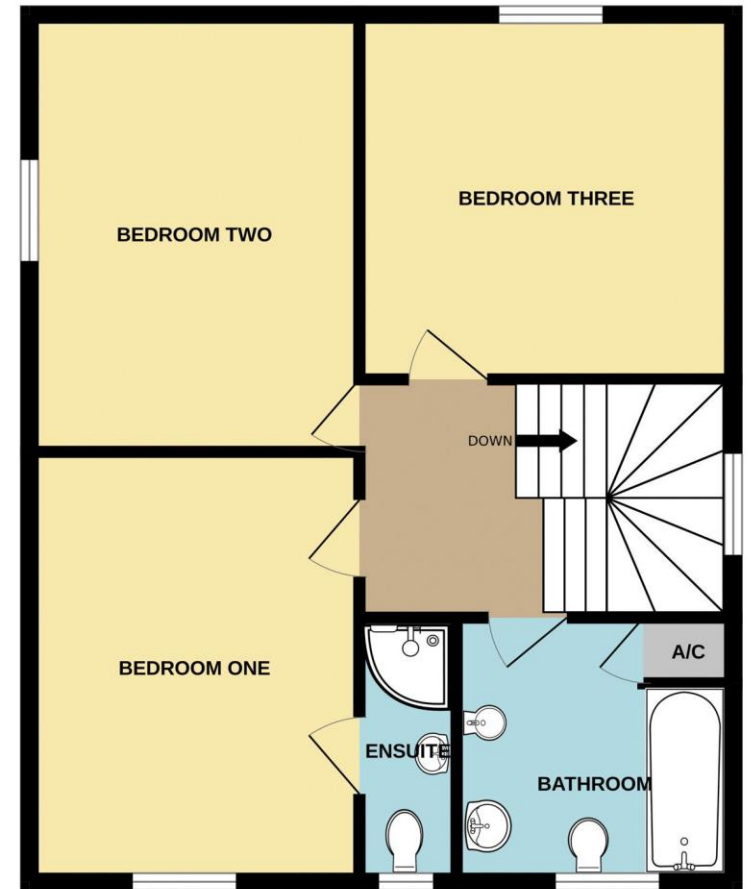




GROUND FLOOR



1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.  
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## Directions

From our Derby Street Leek Offices proceed along Haywood Street and at the traffic lights continue straight ahead into Broad Street. At the mini roundabout continue straight ahead onto the A53 Newcastle Road. Follow this road out of the town passing through the villages of Longsdon and Endon and just after passing The Plough Inn Public House on the right hand side take the next turning left into Station Road. Follow this road which then becomes Post Lane and continue up the hill into the village of Stanley. Take the first turning right into Stanley Road and continue along this road and turn right onto Clewlovs Bank, where the property is located on the left hand side identifiable by a Whittaker & Biggs For Sale Board.

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